



# COMMERCIAL DESIGN GUIDELINES

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## 1.0 Introduction

### 1.1 Vision

The development team’s vision for Langill Farm is an inclusive and engaging neighbourhood built on the values of community connection, family and active lifestyles. The subdivision planning includes a variety of housing opportunities and an integrated network of pedestrian pathways connecting housing with recreational, retail and personal service amenities both new and existing. This holistic approach is based on the concept of “aging in place”- where a community is designed to welcome residents at any season of life, and to encourage the interaction, activity and sense of belonging that draw a community together.

The development of commercial properties at Langill Farm has been carefully planned to provide area residents with convenient access to valuable amenities and services, contributing directly to the vitality and long-term appeal of the overall community. The commercial properties also provide new opportunities for local developers and business owners to establish their presence in a growing residential area, with direct adjacency to the regional high-volume traffic of Clearspring Shopping Centre. Agassiz Shore’s new offices with additional tenant space slated for completion in summer 2024 will serve as a development anchor for all commercial projects in the area and help to establish the high standard of design aspired to in this guideline.

While all types of proposed development that are in accordance with the zoning by-law requirements will be considered, the desired types of amenities and services that will best serve the residents of Langill Farm and customers from throughout the region include the following uses – Retail Sales, Restaurant, Personal Services, Offices, and Medical/ Dental/ Optical. The commercial properties have been envisioned to support either single tenant/ owner occupied, or multi-tenant development.



*Penn-co/ Agassiz Shore Offices, 1 Langill Way*

## 1.2 Purpose & Use

These commercial design guidelines represent a minimum set of standards over and above those required by the City of Steinbach’s zoning by-law. It is the intention of the developers of Langill Farm and the related commercial corridor development to ensure a well-coordinated, cohesive subdivision using these guidelines and the related approval process outlined in Section 3.0. While this process allows for a degree of flexibility in interpretation, it is expected that there be a high level of consistency in the standards of architectural and landscape design including all aspects of building design and site development.

Agassiz Shore or their consultant shall be the judge of any infractions to these guidelines in whole or in part.

## 1.3 Property Overview

These commercial design guidelines have been prepared to apply specifically to the following properties summarized below. As additional commercial properties are established and offered for sale or lease in future phases, these guidelines may be amended as necessary to suit the zoning classification and/ or location.

Address	Lot Width	Lot Depth	Lot Area	Zoning
2 Langill Way, Steinbach, MB	72.20m/ (250 ft)	57.91m/ (190 ft)	4,412.89 sq.m/ (47,500 sq.ft.)	C3
1 Thresher Rd, Steinbach, MB	76.20m/ (250 ft)	76.81m/ (252 ft)	5,864.5 sq.m/ (63,125 sq.ft.)	C3
2 Thresher Rd, Steinbach, MB	76.20m/ (250 ft)	60.96m/ (200 ft)	4,645.15 sq.m/ (50,000 sq.ft.)	C3

Note: Property data included as per MLS Listings.

## 1.4 Limitations

Selective overviews of the applicable Steinbach zoning by-law sections are included in this guideline for the reader’s convenience only and are not intended to capture all zoning or development requirements. Where any discrepancies between this guideline and the zoning by-law are found, the Steinbach zoning by-law being enforced at the time of permit application will take precedence.

## 2.0 Commercial Design Guidelines

### 2.1 Zoning By-law Overview

The following section applies to all properties identified above, which are all zoned as C3 (Commercial Corridor) on the development plan. The **Commercial Corridor District**, according to the zoning by-law, “...is intended primarily for uses that provide commercial goods and services to residents of the broad community and beyond; in areas that are dependent on automobile access and exposed to heavy automobile traffic, but not including regional shopping malls or regional shopping areas. These commercial uses are subject to frequent view by the public and visitors to Steinbach, and should provide an attractive appearance with Landscaping, sufficient parking, and controlled vehicle movement...”

#### 2.1A Permitted & Conditional Uses

All Permitted and Conditional uses for the Commercial Corridor District are outlined in Table 3-1 of the zoning by-law, along with specific use standards where applicable and parking/loading requirements. The preferred uses being addressed in this guideline are defined as follows:

**Food and Beverage Service...** subcategory of uses involving the serving of prepared food or beverages (including alcoholic beverages) for consumption on or off the premises. Accessory uses may include food preparation areas, offices, micro-breweries, distilleries or wineries, and parking.

**Office...** subcategory of uses focusing on business, professional, administrative, clerical, or financial services that are frequented by clients and customers for service and sales. Accessory uses may include cafeterias, health facilities, parking, or other amenities primarily for the use of employees in the firm or building.

**Personal Service...** subcategory of uses that provide individual services related to personal needs directly to customers at the site of the business, or receive goods from or return goods to the customer that have been treated or processed at that location or another location. This use does not include vehicles and equipment, recreation, or adult service or entertainment establishment, dating and escort services, or massage parlours. No outside display is permitted unless specifically authorized by this By-law. Accessory uses may include offices, parking, storage of goods, and assembly, repackaging, or repair of goods for on-site sale.

**Retail Sales Uses...** subcategory of uses involved in the sale, lease, or rent of new or used products directly to the general public or to individuals or households based on their membership in an association or club. This use includes facilities whose names indicate that they are warehouse or wholesale operations, but that in fact conduct more than incidental retail sales. This use does not include food service, personal services, or recreation uses. Accessory uses may include offices, parking, storage of goods, assembly, repackaging, or repair of goods for on-site sale.

Proposed uses outside of those outlined above, and permitted by the zoning by-law, will be reviewed on a case-by-case basis. No Residential uses will be permitted.

### 2.1B Dimensional Standards

The minimum setbacks and other dimensional standards required by the City of Steinbach Zoning Bylaw shall apply (*indicated in italics below*), except where exceeded by these guidelines as determined by Agassiz Shore (**indicated in bold below**):

Refer to Zoning By-law Tables 4-1, 4-2 for complete requirements and definitions.

Lot Zoning District	Min. Front Yard	Min. Rear Yard	Min. Interior Side Yard a)	Min. Corner Side Yard b)	Max. Lot Coverage	Max. Floor Area Ratio	Max. Building Height
Principal Building(s)							
C3	<i>(25')</i>	<i>(25')</i>	<i>(15')</i>	<i>(25')</i> <b>75'</b>	<i>(n/a)</i>	<i>1.5</i>	<i>(50')</i>
Accessory Building, Structure or use							
C3	<i>(25')</i>	<i>(10')</i>	<i>(5')</i>	<i>(15')</i>	<i>(n/a)</i>	<i>(10%) c)</i>	<i>(20')</i>

- a) For the C3 lots in the Langill Farm Development, the part of the yard abutting the RLD or RHD lots is considered the interior side yard.
- b) For the C3 lots in the Langill Farm Development, the part of the yard abutting Park Road West is considered the corner side yard. Here, a setback of 75' is required in order to be consistent with the setback for developed commercial lots off Park Road West
- c) Accessory maximum floor area expressed as a percentage of the overall lot area.

Setbacks and yard requirements shall be measured from property lines to the exterior face of building. Encroachments are allowed only as permitted by the City of Steinbach Zoning By-law. The increased setbacks in bold above have been established to provide general alignment of new development with the Agassiz Shore offices at 1 Langill Way, and to encourage double-loaded parking aisles on the side of the yard abutting Park Road West.

## 2.2 Architectural

### 2.2A Design Objectives

The primary design objective of these guidelines is to ensure a cohesive overall expression between the various commercial buildings being developed, in keeping with the neighbourhood brand of Langill Farm, while also permitting a degree of individual expression and identity.

Specific objectives for commercial development are summarized below. Design features and requirements to help achieve these objectives are outlined in the sections that follow.

- **Design Quality** – Suitably scaled buildings with attractive, well proportioned design features and high-quality materials are important to provide a lasting impression of quality for visitors and area residents. The objective is an overall cohesive design, well coordinated between site and building development.
- **Variation** – Regardless of the number of property developers, buildings and/or tenants, the intent is to present the commercial offerings as a series of neighbourhood scaled facades and storefronts.
- **Pedestrian Experience** – While automobile access is important to the success of development, the use of consistent features to promote pedestrian access and safety will encourage local active transportation.

### 2.2B General Façade Character

The character of commercial facades will vary to some extent based on the use (offices vs retail and personal services), and the scale of the building. Below are various design examples for different uses that reflect the desired aesthetic – based in part on the anchor office development. Key characteristics of this contemporary style include:

- Clean, modern aesthetic with little ornamentation.
- Simple material palette with neutral colour schemes to allow storefront signage to be prominent in the first impression of retail spaces.
- Warm, inviting materials to draw visitors in and create a welcoming environment.
- Human scaled design features that serve a functional purpose, such as shade or entry canopies, awnings, and landscape furnishings.
- Generous storefront windows to showcase the activities inside and maximize natural light for interior spaces.



*Representative one-two storey retail/ personal services façades.*



*Representative restaurant/ patio façades.*





*Representative one-two storey office building facades.*



*Representative mixed-use retail/ office building facades.*

**Note:** All development higher than a single storey will require careful review of the maximum floor area ratio and minimum parking stall requirements. Variance(s) and/ or a Parking Management Plan may be required.

### **2.2C Façade Requirements**

1. **Complete Facades** – A consistent or complimentary treatment for each building elevation facing a street is to be used. The corner side yard building elevations are considered part of the primary public facing experience, and should avoid the appearance of one-dimensional building faces. The interior side yard and facades are permitted to take on a more utilitarian approach for single storey buildings. For two storeys and higher, the interior side yard elevation is to mirror the front yard elevation, to promote complete façade.
2. **Massing & Rooflines** – For multi-tenant buildings in particular, the building’s massing and corresponding rooflines should vary to provide a degree of variation and individual tenant identity. Single tenant or owner-occupied uses may not require the same type of variation, but are required to provide another form of visual interest, i.e. through the use of other design features outlined below.

3. Barrier-Free Design – The pedestrian entrances to buildings will be designed to meet or exceed the requirements of the 2020 Manitoba Building Code, including but limited to, automatic door operators and related guards, barrier-free exits, etc. All aspects of site development are also envisioned to be fully accessible, outlined below.
4. Entrances – Points of entry to each commercial space should be clearly visible when the approaching the site for ease of wayfinding. Entries for a multi-tenant building may rely more so on individual signage, whereas single tenant and owner-occupied buildings will require distinctive design features to help draw attention to the primary pedestrian entry. Approaches to emphasizing entries include covered overhangs and raised massing, increased amounts of glazing, and featured materials and lighting.
5. Roof Drainage – The type of roof to be used, i.e. flat roof with internal water collection vs pitched, will be influenced in part by the City of Steinbach’s Drainage and Lot Grading Standards – TBD by the required engineering consultants. It is generally preferred to use a flat roof with internal drainage to control water and ice on the site, and to help conceal rooftop equipment with raised parapets. Any rainwater being discharged to grade must be designed to avoid pedestrian walkways and building entrances/ exits.
6. Equipment Screening – Both rooftop mounted and at-grade building service equipment shall be fully screened from the public’s view in all cases. At-grade, using fencing and screening described under site development, and where rooftop mounted using high quality pre-finished materials to match or compliment the building cladding in combination with raised parapets where feasible.

## **2.2D Design Features**

The following building design features are provided for the prospective developers consideration, to address the design objectives and respond to the general façade characteristics described above.

1. Pedestrian Cover/ Shade Canopies  
Covered walkways are a desirable feature for several reasons, providing a sense of human scale, protection from the elements for pedestrians, shade for the building’s windows, and a location to mount tenant signage. Covered walkways or shade canopies should be min. 10’-0” above grade, be constructed of durable materials with a long-lasting finish, and direct rainwater away from pedestrian walkways.



*Examples of covered walkways/ shade trellis*

## 2. Windows and Displays

Windows are an important design consideration, in order to showcase the activity and services offered in commercial buildings and create a welcoming environment. Total window area on the front yard elevation is encouraged to be min. 60% of the building face, min. 10'-0" in height, with sills no higher than 1'-6". Other street facing windows should generally match the front yard sill and window head heights, to help establish complete facades. Glazing for retail uses should be clear and not tinted. Any vinyl film coverings to expand on tenant identity are subject to the zoning by-law signage size requirements, and should be translucent or perforated to allow continuity of views.



*Examples of prominent retail storefronts with generous window areas.*

## 3. Materials and Colours

The building materials to be used will vary to some degree depending on the type of use, but should in all cases be selected for their durability, ease of maintenance, and lasting aesthetic quality. In keeping with the contemporary style described under General Façade Character, it is preferred that the number of materials used for any given building be limited to two-three (2-3), and complimented with other design features. The materials outlined below are provided as a guideline for the developer's convenience. Other materials and material combinations will be reviewed on a case-by-case basis.

Material	Application Notes
Clay Brick Masonry	Front/ Side yard elevations, min. preferred height 7'-0 (top of door height), various textures. Thru-body colours, full depth application (no thin-brick adhered installations).
Concrete Masonry	Per above, with burnished or coloured concrete masonry units being preferred.
Natural/ Cultured Stone	Front/ Side yard elevations, generally used as an accent feature or base material below windows. Full depth application preferred, adhered installations where suitable (small area locations for example).
Pre-Finished Steel	Elevation(s) to suit the proposed design, concealed fastener profiles, suitable gauge to avoid oil-canning. Generally preferred as a secondary or accent feature material.

Pre-Finished Aluminum	Elevation(s) to suit the proposed design, concealed fastener plank type profiles, or high quality panelized concealed fastener systems.
Stucco/ Exterior Insulation Finish System	Elevation(s) to suit the proposed design, anticipated to be used as a secondary material above windows and/ or the rear yard elevations where durability is less of a concern.
Other	The use of other cladding materials for accent features is anticipated but not required. Examples include, Corten steel (pre-weathered), frost-resistant ceramic tile, natural wood where protected from direct weathering, etc.

Colours to be used should generally be neutral in tone, inspired by natural materials, with relatively low contrast between colours being used. This approach is in keeping with the desired contemporary design aesthetic described above. The proposed colour schemes will be reviewed as part of the approval process, but the intention is to allow flexibility and defer to the prospective developers for detailed colour selections.

4. Decorative Building Lighting

Building mounted accent lighting contributes much to a functional, safe and attractive commercial setting. While site lighting to maintain code required light levels will be a prerequisite, discussed under Site Lighting below, these guidelines also encourage the use of building, soffit, and canopy mounted architectural lighting to compliment and supplement the site and landscape lighting. Any high-lumen upward or outward facing fixture types that would contribute to light pollution should be avoided.



*Examples of attractive building mounted architectural lighting.*

5. Signage

The use of professionally designed signage to help direct visitors to the site, clearly identify tenants and assist in pedestrian wayfinding has an important role to play in the overall impression made. Below are some examples of successful signage for the main sign types anticipated to be used.



*Examples of freestanding signs - single or multiple uses, and directional*

Freestanding signs should be designed in keeping with the character of the building(s), and clearly identify the address and tenant(s). Where there are multiple tenants, it is encouraged that logos be treated in a monochromatic approach.



*Examples of building mounted fascia signs*

Fascia mounted signage is expected to be the main sign type for retail and personal service uses. These signs should express the individual character of the tenant, and be coordinated with the building design to ensure a high degree of colour contrast, clear legibility at night, and scaled to suit the available building façade. Where illuminated channel letters are used, no visible conduit or junction boxes are permitted, and any runner channel boxes used to conceal conduits behind letters should be colour matched to the building cladding. Backlit sign boxes should be used only in combination with channel letters in a secondary role, as pictured above.



*Examples of building mounted projecting and hanging signs*

These types of projecting and hanging signs are generally secondary, used to compliment the main fascia or other building mounted signage, helping to expand on tenants' brand and direct pedestrians to storefront entrances.

Refer to the zoning by-law for all sign definitions and detailed requirements. The table below outlines which sign types are permitted and not permitted on the Langill Farm commercial properties, **those in Bold being the direction of Agassiz Shore:**

Sign Type	Not Permitted/ Permitted (in accordance with the by-law)
Accessory Signs, i.e. parking, circulation	Permitted
Advertising/ Billboard Signs	<b>Not Permitted</b>
Animated/ Electronic Billboard Signs	<b>Permitted *</b>
District Specific Signs - Freestanding	Permitted
District Specific Signs - Building Attached, i.e. Fascia, Canopy, Projecting, Rooftop	Permitted
Mobile Signs	<b>Not Permitted</b>
Temporary Signs	Permitted

\* Subject to case-by-case review by Agassiz Shore

#### District Specific Signage

All signs, freestanding or attached to a building, must comply with the standards from the zoning by-law Table 4-9 shown below. Refer to the zoning by-law for sign area measurement definitions.

Zoning District	Type a)	Max. Height	Area per Zoning Lot
C3, C4	Freestanding	50' above grade	1.25 sq. ft. per foot of frontage to a max. of 323 sq. ft.
C3, C4	Attached to building	Wall height	25% of building wall

a) Signs "attached to building" include fascia signs, projecting signs, swinging signs, marquee signs, roof sign, and canopy signs.

## 2.3 Site Development

### **2.3A Approaches, Parking, Loading, Drive-Through Facilities**

Parking and loading spaces shall be provided as required under Section 4.4 and other relevant sections of the City of Steinbach Zoning By-law, which contains requirements for the following design aspects:

- The required number of parking and loading spaces
- Layout
- Surfacing
- Landscaping
- Lighting
- Vehicle Display Areas

In general, prospective developers should aim to minimize the number and size of private approaches to commercial lots that are accessed from Langill Way or Thresher Road to encourage an uninterrupted pedestrian realm.

To encourage a pleasant public realm and pedestrian environment along Langill Way and Thresher Road, prospective developers should design their sites to:

- Locate off-street parking lots and loading areas behind principal buildings, where possible.
- Minimize the size of the parking area in the exterior corner yard abutting Park Road West. Where possible, avoid double aisle parking on this side yard.

For drive-through facilities, prospective developers should locate the entry points to the stacking lanes as close to the back of the lot as possible so that the vehicle queue does not block traffic along Langill Way or Thresher Road or disrupt the movement of other vehicles or pedestrians on site. Sites with drive-through facilities should clearly demarcate separate, safe pedestrian circulation routes in conjunction with vehicular circulation using techniques such as raised pedestrian crossings, change in paving, bollards and landscaping to separate them from stacking lanes and driveways.

### **2.3B Pedestrian and Bicycle Access**

The prospective developer is responsible for providing pedestrian and bicycle access to their properties in accordance with the standards in the City of Steinbach Zoning Bylaw (Section 4.9), other City of Steinbach standards, and these Design Guidelines.

All proposed commercial development in Langill Farm must show how their development will be accessed by pedestrians and cyclists, including connections to sidewalks and paths in the Langill Farm development, where appropriate. All main entrances of principal buildings must have direct access to a sidewalk, walkway, path, or pathway that leads to a public street.

### **2.3C Plant Materials and Landscaping**

#### 1. Rich Landscape Legacy

When Langill Farm was surveyed and settled in the early 1870s, the quarter section was known for its natural beauty and variety of wild fruits. In the book *Pioneers of Clear Springs*, Rachel, the daughter of pioneers John and Jane Langill, recalls, "The first years we were living in Clear Springs there was all kinds of wild fruit, strawberries, black

currants, cranberries, gooseberries, saskatoons, pincherries and plums. Our farm was a real good one for wild fruit . . . We even had wild plum trees planted in the garden.”

To build on the property’s rich landscape legacy, all commercial development in Langill Farm shall feature landscaping that:

- Highlights and complements the architectural design;
- Provides shade, texture, colour, and visual interest;
- Makes use of native or adaptive (zone hardy) plant species, where available and appropriate;
- Encourages or references urban agriculture and other features that are consistent with Langill Farm’s history; and
- Complements the development’s naturalized waterbodies and trails.

2. Plant Material Standards

Plants shall be selected for their beauty and hardiness and intent to add texture, colour and movement in the built environment. The following images represent the palette of trees, shrubs and groundcovers encouraged in the commercial district of Langill Farm:



*Planting palette*

- 1. Prairie Grasses, 2. Fall colour trees & shrubs, 3. Spring flowering shrubs, 4. Winter interest & evergreen shrubs, 5 Landscape bolders*



3. Plant Materials and Minimum Plant Sizes

The prospective developer is responsible for planting from the property line to the street curb, including side yards for corner lots.

Plant materials must comply with the standards in Sections 183 – 185 of the City of Steinbach Zoning By-Law except where exceeded by these guidelines as determined by the Developer and indicated in **bold**.

New plants must meet or exceed the following minimum standards:

- Deciduous trees: **all deciduous trees planted must be a minimum two-and-a-half-inch caliper**, and of species that normally have lower branches at least **seven (7) feet above grade at maturity**
- *Coniferous trees: minimum of six feet high at the time of planting;*
- **Each tree requires a minimum of 250cuf of topsoil, no deeper than 3 feet deep. Use of tree vaults may be required in paved areas to achieve this soil volume.**
- *All shrubs: two-gallon container, and of species that can remain healthy when trimmed so as to maintain a height of not more than 30 inches at maturity; and*
- *Groundcover, annuals, and perennials: no minimum size.*

4. Site Landscaping

The prospective developer is responsible for site landscaping from the property line to the street curb, including side yards for corner lots.

The landscaping and buffering standards in the City of Steinbach Zoning Bylaw (Section 4.6, regulations 186.1 – 194.1) shall apply to all commercial developments in the Langill Farm development, where applicable.

### 2.3D Fencing and Screening

All fencing within the development shall be built to the same standards to ensure visual continuity. Fence design and construction shall be in accordance with the standards outlined in this Design Guideline document, unless otherwise approved by the Agassiz Shore or their Consultant prior to construction. All fencing will need to be approved during the design approval process.

The prospective developer is required to maintain all fences and screening on their property, including those installed by the Agassiz Shore. Please refer to the Fencing Reference Plan for the location, type and size of Agassiz Shore-installed fencing in Langill Farm. Any developer-installed fencing or screening on a property must be shown on any site plans submitted for architectural approval.

All other aspects of fencing or screening not mentioned below shall conform to the City of Steinbach Zoning By-Law (Section 4.7).

All fencing and screening should be coordinated with respect to design, materials and finishes. **In the Langill Farm development, PVC, chain link, barbed wire, non-permanent fence materials or composite type fencing is prohibited.**

**Types of acceptable fencing and screening include solid wood and black wrought-iron, metal and ornamental fences**, following the specifications in the Fence Standards (Appendix C-2) and descriptions below. Additional screening and privacy on all lots can be achieved by masonry walls or by planting trees, tall shrubs and hedges.

**Fencing Types:**

TYPE 1 – Solid Wood Fence

- 1.98 metres (6'6") in height in rear yards or side yards.
- 0.9 metres (3') height in front yards, where permitted.
- Built between commercial lots and residential lots (by Developer) or internal lots (Owner installed)

TYPE 2 – Parking Fence, Wood

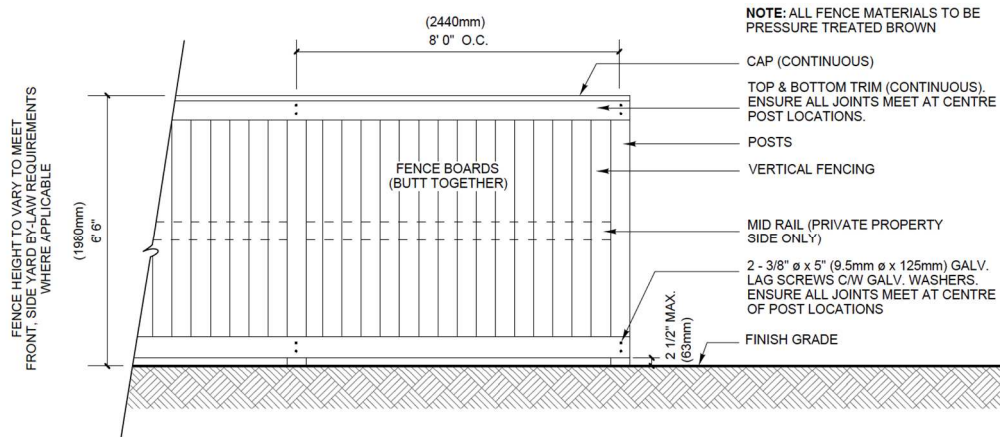
- 1 metres (3'4") in height
- Horizontal wood slat

TYPE 3 – Ornamental Metal Fence

- Metal to be zinc powder coated black colour
- 4' height. 6' will be considered for interior lot fencing where needed

TYPE 4 – Patio Fence

- Fences may have varying opacities to respond to the individual context and adapted to the commercial or retail type (e.g. glass panels, wood, or wire)
- Metal to be zinc powder coated black colour (aluminum preferred)
- All fencing shall be horizontal in design
- Fences higher than 1 metre (3 feet) may not cover more than 40% of the patio
- High-quality fasteners must be used
- Shop drawings must be submitted for approval



**SOLID WOOD FENCE ELEVATION (FRONT)**

*Type 1: Solid Wood Fence*



*Type 2: Parking Lot Fence*



*Type 3: Ornamental Metal Fence*



*Type 4: Patio Fences*

### **2.3E Site Furniture, Lighting and Amenities**

Outdoor site furnishings, lightings and amenities should complement the building architecture in form, colours and materials. Durable, commercial grade finishes in neutral tones, including silver, grey, charcoal, black are encouraged. Incorporating wood elements or wood like materials to further tie-in with architectural elements is also desirable.

#### **1. Site Furniture**

Site furnishing elements such as benches, seating/tables, umbrellas, waste / recycling receptacles, bollards, free standing planters and bike racks should be fully considered as a suite for continuity and compatibility with the overall design. Examples of supported site furnishings of each type are provided below.



1a.



1b.



2a.



2b.



3a.



3b.

*Site Furnishings:*

*1a/ 1b Bench Seating, 2a/2b Table & Bench Seating, 3a/3b Planters*



4a.



4b.



5a.



5b.



6a.



6b.

*Site Furnishings:*

*4a/ 4b Bike Rack, 5a/5b Bollard, 6a/6b Waste & Recycling*

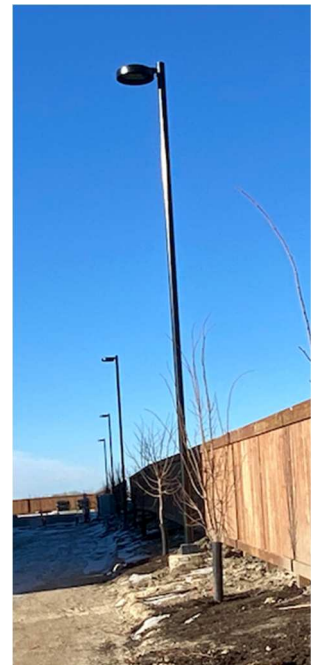
2. Site Lighting

Site lighting for commercial sites is encouraged for safety, illumination, and to highlight the building and landscape architecture. Lighting design should follow the same criteria as the site furniture described above.

The prospective developer shall design and install site lighting to maintain adequate lighting on-site and provide security for people and property through the use of fixtures that prevent glare beyond the property line. The prospective developer must design and install on-site lighting that complies with the provisions of the City of Steinbach Zoning By-law Section 4.8.

Proposed lighting will be reviewed with design submissions. Prospective developer are encouraged to provide lighting in the following areas:

- Pedestrian scale lighting of pathways & streetscapes
- Bollard lighting (see image above)
- Accent lighting (in ground, flood lighting, etc.)
- Patio lighting, and
- Parking lot lighting.



### **2.3G Waste Storage and Disposal**

In-ground or below grade storage and collection systems for commercial garbage and recycling are preferred. However, traditional, above ground waste and recycling storage and collection will be permitted. Enclosure requirements shall conform to the City of Steinbach requirements. Contact the City of Steinbach Sanitation Department for all minimum requirement for enclosure construction and dimensions. Enclosures shall be commercial grade, durable masonry or pressure treated wood construction with metal or 6x6 pressure treated timber post construction. Enclosure must be 150mm (6") higher than height of bin. Bin rental and associated fees are the responsibility of the Owner/Developer/Tenant and not Agassiz Shore Developments.



*Examples of in-ground waste disposal system vs typical bins with enclosure*

### 3.0 Administrative

#### 3.1 Development Process

##### 3.1.1 General Requirements

Prospective Developers are required to engage consulting professionals (architect and/or engineers) in accordance with Provincial legislation based on the proposed building type(s) and size, and the City of Steinbach's permit submission requirements. The plan submissions outlined below shall be prepared in sufficient detail to allow timely review by Agassiz Shore or their consultant, and demonstrate compliance with the requirements of this design guideline.

In order to ensure that Prospective Developer's are meeting the intent of the design guidelines above, a Compliance Deposit fee (\$10,000.00) has been added to the purchase agreement for each property. The Compliance Deposit will be held in trust by Agassiz Shore's Attorney and used to enforce design compliance, repairs to development infrastructure, and site clean-up, if required. The deposit will not be returned to the Prospective Developer until landscaping and hardscaping are in place and all deficiencies are deemed to be completed satisfactorily by the Agassiz Shore. Further terms in respect of the Compliance Deposit and restrictions on building are contained within Schedule "A" attached to the Offer to Purchase.

Agassiz Shore at their sole option may waive any of the design requirements in this guideline or introduce additional requirements.

##### 3.1.2 Building Codes & Permits

It is the sole responsibility of the Prospective Developer and their professional consultants and contractor to comply with all applicable requirements of the Provincial and municipal by-laws, codes and standards. These include but are not limited to:

- The City of Steinbach Zoning By-law
- The Manitoba Building and Energy Code
- The Manitoba Plumbing and Electrical Codes
- The National Fire Code of Canada

The City of Steinbach is the Authority Having Jurisdiction responsible for issuing building permits for the sites covered in these guidelines. The Prospective Developer is responsible to submit, pay for and obtain all applicable City of Steinbach approvals and permits. The Prospective Developer is encouraged to contact the City of Steinbach early the development process to ensure a full understanding of the approvals and applications required. A copy of the valid building permit must be submitted to Agassiz Shore prior to the start of construction.

### 3.1.3 Step 1: Preliminary Plan Submission

The Preliminary Plan Submission is required to ensure compliance with these guidelines before the prospective developer invests time in a design that is noncompliant. It is the responsibility of the Prospective Developer to demonstrate how their design meets these requirements. References to the design guidelines in the drawing submission to demonstrate how the design guidelines are being achieved are encouraged.

#### Preliminary Plan Submission Checklist:

- Zoning Overview – including a compliance review for building setbacks, floor area ratio, and parking capacity
- Site Plan – Address, building(s) size and dimensioned position from each property line, number of storey, proposed use(s), parking and site access layout, refuse, pedestrian walkways, preliminary planting areas
- Floor Plans – Plans of all floors, including gross area and area per floor
- Patio Plan (if applicable)
- Elevations – Preliminary building elevations and/ or renderings indicating materials, extent of windows, signage and any other design features.

Agassiz Shore at their sole discretion may require resubmission(s) of the Preliminary Plan Submission before providing approval to proceed to the next step in development.

### 3.1.4 Step 2: Final Plan Submission

The Final Plan Submission will ensure that, as the design is developed, it remains in compliance with these guidelines. The construction drawings should near or at the “Issued For Construction” drawings stage, ready for building permit application to follow.

#### Final Plan Submission Checklist:

- Zoning Overview – updated if applicable
- Updated Site Plan, Floor Plans, Patio Plan (if applicable), and Elevations incorporating the preliminary review comments by Agassiz Shore
- Planting plan to indicate all landscape planting material types and quantities
- Colour scheme for all exterior materials, including weblinks to all manufacturer’s colour and finish information.
- Additional plans or details to demonstrate design guideline compliance.
- Signage Elevations – indicating location(s), signage type(s), materials, colours, and dimensions.
- Note: Where tenants are responsible for exterior signage, it is the Prospective Developer’s responsibility to coordinate and submit the proposed signage for review under this process.

Agassiz Shore at their sole discretion may require resubmission(s) of the Final Plan Submission before providing approval to proceed to the next step in development.

### 3.1.5 Step 3: City of Steinbach Building Permit Submission

This is the Prospective Developer’s submission to the City of Steinbach for building permit. For the Langill Farms Development, this submission will need to include a letter from the Agassiz Shore confirming that the design has been reviewed for conformance to these design guidelines.

For the City's specific requirements visit: <https://www.steinbach.ca/departments-and-services/planning-and-zoning/permits-and-fees/> for more information or contact Planning and Zoning at 204-346-6515 or email [planning@steinbach.ca](mailto:planning@steinbach.ca)

Note: Other City of Steinbach submissions for conditional use approval, variance approval, private approach development, etc. may also be required and are not addressed in this development process.

Following the City of Steinbach's review and before construction begins, the Builder shall submit to Agassiz Shore the building permit number and an updated set of drawings with any changes that occurred as a result of the permitting process.

#### 3.1.6 Step 4: Construction Reviews

During construction, Agassiz Shore reserves the right to conduct periodic reviews of the development for compliance with these guidelines, the condition of development infrastructure, and site cleanliness. Any damages to the development infrastructure by the prospective developer or their agents, and/or site cleanliness infractions not addressed within two business days will be resolved by Agassiz Shore at the prospective developer's expense using monies from the Compliance Deposit fee. Requirements about construction waste, hours of site operations, and site signage are as per the City of Steinbach zoning by-law.

Construction Timeframes – The prospective developer shall have applied for and received the building permit from the City of Steinbach within one year of property purchase. Construction must be completed within the timeframe allowed by the building permit.

#### 3.1.7 Step 5: Final Review

The prospective developer will submit a request for final on-site review once construction including all grading, landscaping and site development is complete. Agassiz Shore will conduct a final review, making note of any deficiencies for correction by the prospective developer.

Upon completion of any deficiencies, to the satisfaction of Agassiz Shore, the Compliance Deposit will be returned to the purchaser of the property.

#### 3.1.8 Submission Contact

All submissions and inquiries should be directed to:  
Mackenzie Kavanagh, Sales and Administration  
Phone: 204-326-1341  
Email: [Mackenzie.Kavanagh@agassizshore.com](mailto:Mackenzie.Kavanagh@agassizshore.com)



### 3.1.9 Developer Indemnity

It is understood that the responsibility and costs for achieving final compliance with these design guidelines shall be borne by the prospective developer solely. It is the responsibility of every prospective developer to check and verify all information and ensure that the required documentation and final approval has been completed prior to construction, and to determine the required City of Steinbach approval steps and applications specific to the proposed development.

Where any discrepancies between this guideline and the zoning by-law are found, the Steinbach zoning by-law being enforced at the time of permit application will take precedence.

## **4.0 Appendices**

### **Appendix A: Langill Farm Development Plan**